

CITY OF HOUSTON, HARRIS COUNTY, TEXAS  
**VICINITY MAP**  
SCALE: 1" = 2,000'



**NORTH**

GRAPHIC SCALE: 1" = 30'

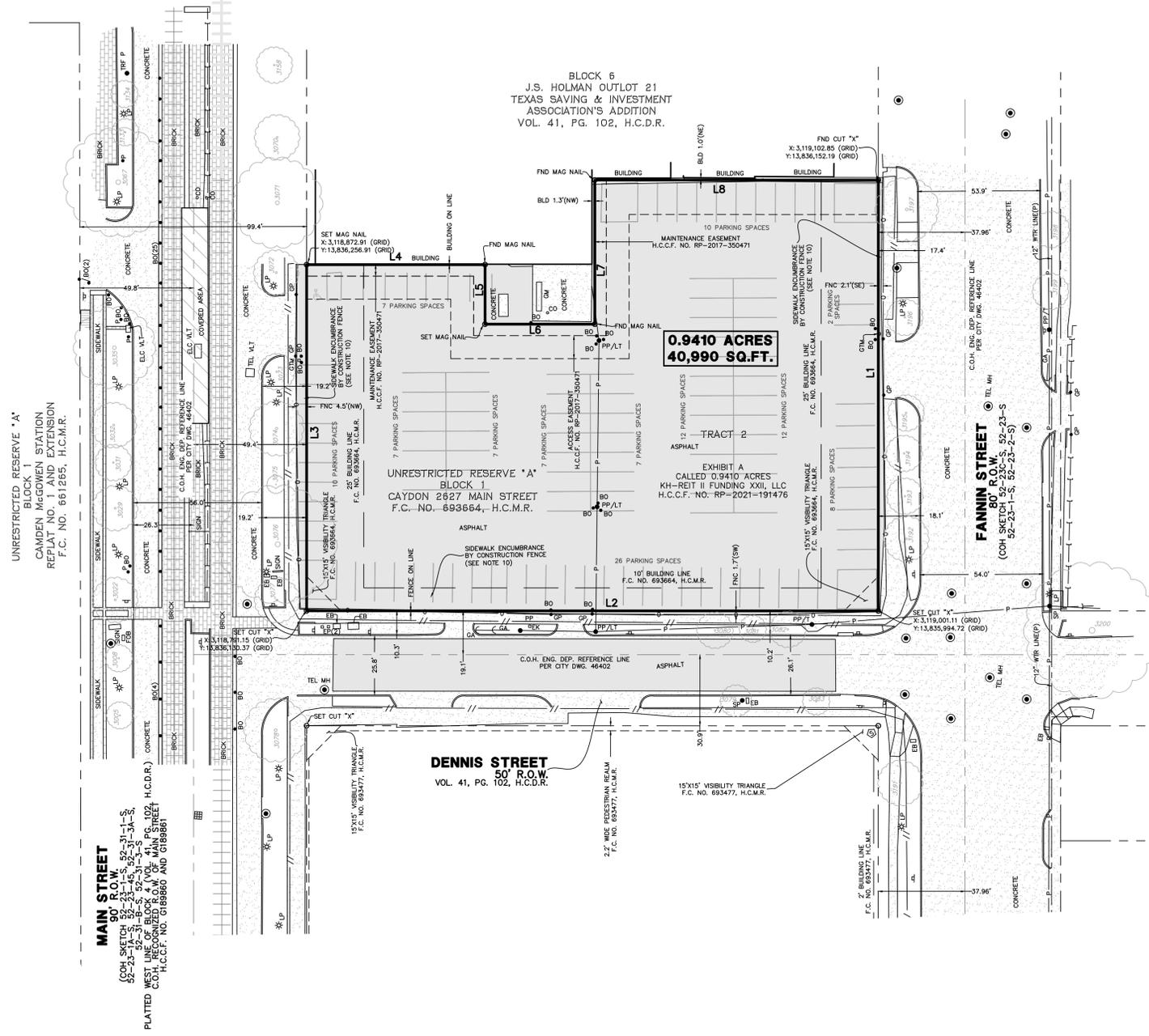
LINE	BEARING	DISTANCE
L1	S 32°52'00" W	187.50'
L2	N 57°08'00" W	250.00'
L3	N 32°52'00" E	150.87'
L4	S 57°08'00" E	78.02'
L5	S 32°52'00" W	25.90'
L6	S 57°08'00" E	48.00'
L7	N 32°52'00" E	62.73'
L8	S 57°08'00" E	123.98'

**LEGEND**

- \* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY
- BO - BOLLARD
  - CH - HANDICAP
  - GM - GAS METER
  - GV - GAS VALVE
  - HH - FIRE HYDRANT
  - WM - WATER METER
  - WV - WATER VALVE
  - ICV - IRRIGATION CONTROL VALVE
  - GI - GRATE INLET
  - MI - MANHOLE
  - CO - CLEANOUT
  - TP - TELEPHONE PEDESTAL
  - EB - ELECTRIC BOX
  - TSB - TRAFFIC SIGNAL BOX
  - LP - LIGHT POLE
  - TLP - TRAFFIC LIGHT POLE
  - GL - GROUND/SPOT LIGHT
  - PP - POWER POLE
  - PP/T - POWER POLE W/TRANSFORMER
  - PP/LT - POWER POLE W/LIGHT
  - PP/CT - POWER POLE W/CONDUIT
  - MP - METER POLE
  - SP - SERVICE POLE
  - GAC - GUY ANCHOR
  - OP - OVERHEAD POWER LINE
  - BWF - BARBED WIRE FENCE
  - WIF - WROUGHT IRON FENCE
  - WF - WOOD FENCE
  - CF - CHAINLINK FENCE
  - GP - GATE POST
  - P - PER PLANS
  - APPROX. - APPROXIMATE
  - HB - HIGHBANK
  - d - SIGN
  - P - POLE
  - FIB - FIBER OPTIC BOX
  - PLM - PIPELINE MARKER
  - UCS - UNDERGROUND CABLE SIGN
  - CTL - CATHODIC TEST LEAD
  - MW - MONITORING WELL
  - P - PIN FLAG/PAINT MARK
  - TC - TOP OF CURB
  - G - GUTTER
  - TG - TOP OF GRATE
  - FL - FLOW LINE
  - HB - HIGHBANK
  - SAN - SANITARY SEWER
  - STM - STORM SEWER
  - CMP - CORRUGATED METAL PIPE
  - CPP - CORRUGATED PLASTIC PIPE
  - RCF - REINFORCED CONCRETE PIPE
  - TEL - TELEPHONE
  - SWBT - SOUTHWESTERN BELL TELEPHONE CO.
  - WTR - WATER
  - UG - UNDERGROUND
  - FND - FOUND
  - H.C.C.F. - HARRIS COUNTY CLERK FILE
  - H.C.D.R. - HARRIS COUNTY DEED RECORDS
  - H.C.M.R. - HARRIS COUNTY MAP RECORDS
  - IP - IRON PIPE
  - IR - IRON ROD
  - NO. - NUMBER
  - PG. - PAGE
  - R.O.W. - RIGHT-OF-WAY
  - SQ. FT. - SQUARE FEET
  - VOL. - VOLUME
  - F.C. - FILM CODE
  - BL. - BUILDING LINE
  - U.E. - UTILITY EASEMENT
  - TRENCH/SHRUB

**TREE TABLE**

POINT	SIZE	TYPE
3005	6"	OAK
3008	6"	OAK
3022	10"	OAK
3025	10"	OAK
3031	8"	OAK
3032	10"	OAK
3035	18"	OAK
3067	24"	OAK
3070	10"	OAK
3071	20"	OAK
3072	10"	OAK
3073	8"	OAK
3074	12"	OAK
3075	4"	OAK
3076	26"	OAK
3077	10"	OAK
3078	14"	OAK
3079	7"	OAK
3080	8"	OAK
3081	6"	OAK
3082	8"	OAK
3083	6"	OAK
3133	6"	OAK
3134	6"	OAK
3158	8"	OAK
3191	10"	OAK
3192	10"	OAK
3193	8"	OAK
3194	8"	OAK
3195	8"	OAK
3196	8"	OAK
3197	14"	OAK
3198	8"	SG
3199	8"	SG
3200	30"	OAK



**TRACT 2 DESCRIPTION**

ALL OF UNRESTRICTED RESERVE "A", BLOCK 1, CAYDON 2627 MAIN STREET, A SUBDIVISION OF 0.9410 OF AN ACRE, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED UNDER FILM CODE NUMBER 693664, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS.

**GENERAL NOTES**

- SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITH INFORMATION CONTAINED IN TITLE COMMITMENT OF NO. 251128-AW OF FIDELITY NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE OF JUNE 25, 2025, ISSUED DATE OF JULY 2, 2025, AND IS SUBJECT TO THE LIMITATIONS OF THAT COMMITMENT.
- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999891800.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR HARRIS COUNTY, TEXAS, MAP NO. 48201C0860L REVISED/DATED JUNE 18, 2007, AND MAP NO. 48201C0860M REVISED/DATED JANUARY 06, 2017, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATING DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CONSTITUTE OR BE THE BASIS OF LIABILITY FOR LAND SERVICES.
- DEVELOPMENT OF THIS TRACT IS SUBJECT TO REQUIREMENTS PER CITY OF HOUSTON ORDINANCE NO. 2013-343 WHICH STIPULATES PLATTING AND SETBACK CONSTRAINTS. PROPOSED USAGE OF THIS TRACT WILL DETERMINE ACTUAL BUILDING SETBACK LINE(S) ALONG ANY ADJOINING STREETS. REFER TO CITY OF HOUSTON BUILDING CODES TO ESTABLISH MINIMUM PUBLISHED TRACK REQUIREMENTS. ULTIMATELY THE CITY OF HOUSTON PLANNING COMMISSION WILL DETERMINE REQUIRED SETBACKS UPON REVIEW OF PLANS OR PLATS SUBMITTED TO SAID COMMISSION. THIS TRACT MAY REQUIRE PLATTING AS A CONDITION FOR RECEIVING BUILDING PERMITS.
- READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY. NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES.
- ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
- THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY. IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
- FENCES SHOWN HEREON WITH DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDER BETWEEN MEASURED LOCATIONS.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
- SIDEWALK AROUND SUBJECT PROPERTY IS OBSTRUCTED BY A CONSTRUCTION FENCE. IMPROVEMENTS SHOWN WITHIN CLOUDED ARE MAY DIFFER FROM SHOWN.
- WITH REGARD TO ITEM 2 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ACCORDING TO THE HARRIS COUNTY APPRAISAL DISTRICT, THE ADDRESS OF THE SUBJECT TRACT (TAX ID NO. 145356010001) IS 2666 FANNING STREET, HOUSTON, TX 77002.
- WITH REGARD TO ITEM 6 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THE SUBJECT TRACT LIES WITHIN THE CITY OF HOUSTON LIMITS. THERE IS NO ZONING ORDINANCE IN THE CITY OF HOUSTON AT THIS TIME.
- WITH REGARD TO ITEM 9 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WERE 115 REGULAR STRIPED PARKING SPACES AND 1 HANDICAPPED STRIPED PARKING SPACES (PARKING PAINT STRIPES WERE FADED AT TIME OF SURVEY) ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
- WITH REGARD TO ITEM 16 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
- WITH REGARD TO ITEM 17 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET, SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.

**SURVEYOR'S CERTIFICATION**

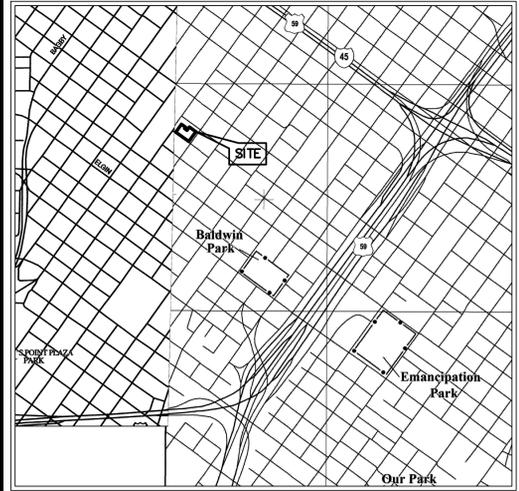
TO: BRACKMAN LLC, a Texas limited liability company and/or permitted CAYDON HOUSTON ASSIGNS 2 LP MIDTOWN OPPORTUNITY INVESTMENTS LLC OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 8, 9, 13, 14, 16, 17, & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 29, 2025.



Matthew Carpenter  
Registered Professional Land Surveyor  
Texas Registration No. 69442  
DATE: 09/08/2025

**FLOOD INFORMATION**



**PANEL 080M**

**FIRM**  
FLOOD INSURANCE RATE MAP  
HARRIS COUNTY, TEXAS  
AND INCORPORATED AREAS

PANEL 880 OF 1150  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS: HARRIS COUNTY, TEXAS  
COMMUNITY: HOUSTON, CITY OF  
ANNEKS: NONE  
DATE: 08/06/2017

MAP NUMBER: 48201C0860M  
MAP REVISED: JANUARY 6, 2017  
Federal Emergency Management Agency

**PANEL 080L**

**FIRM**  
FLOOD INSURANCE RATE MAP  
HARRIS COUNTY, TEXAS  
AND INCORPORATED AREAS

PANEL 890 OF 1150  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS: HARRIS COUNTY, TEXAS  
COMMUNITY: HOUSTON, CITY OF  
ANNEKS: NONE  
DATE: 08/06/2017

MAP NUMBER: 48201C0860L  
MAP REVISED: JUNE 16, 2007  
Federal Emergency Management Agency

**SCHEDULE 'B' NOTES**

- SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANTS OF RECORD ITEMIZED BELOW (WE MUST EITHER INSERT SPECIFIC RECORDING DATA OR DELETE THIS EXCEPTION): AS SET FORTH IN INSTRUMENT FILED FOR RECORD UNDER FILM CODE NO(S). 693477, AND 693664, MAP RECORDS OF HARRIS COUNTY, TEXAS. (SHOWN HEREON)
- THE FOLLOWING MATTERS REFLECTED ON THE RECORDED PLAT FILED UNDER FILM CODE NO. 693664, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS: (SHOWN HEREON)
  - 25 FOOT BUILDING SETBACK ALONG THE SOUTHEAST AND NORTHWEST PROPERTY LINES.
  - 10 FOOT BUILDING SETBACK ALONG THE SOUTHWEST PROPERTY LINE.
  - 15 FOOT X 15 FOOT VISIBILITY TRIANGLES OVER THE WEST AND SOUTH CORNERS OF THE PROPERTY.
- AN EASEMENT FOR DRAINAGE PURPOSES EXTENDING FIFTEEN (15) FEET ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES. (NONE OBSERVED AT TIME OF SURVEY)
- TERMS, CONDITIONS, STIPULATIONS, PROVISIONS, AND EASEMENTS CONTAINED IN ENCROACHMENT, MAINTENANCE AND ACCESS EASEMENT AGREEMENT AS SET OUT IN INSTRUMENT FILED FOR RECORD UNDER HARRIS COUNTY CLERK'S FILE NO. RP-2017-350471, (SHOWN HEREON)
- SUBJECT TO TERMS, CONDITIONS, STIPULATIONS, AND PROVISIONS CONTAINED IN STORM WATER QUALITY MANAGEMENT PLAN AS EVIDENCED BY NOTICE OF STORM WATER QUALITY REQUIREMENTS FILED FOR RECORD UNDER HARRIS COUNTY CLERK'S FILE NO. RP-2020-442240. (BLANKET IN NATURE)

REVISIONS		
DATE	REASON	BY

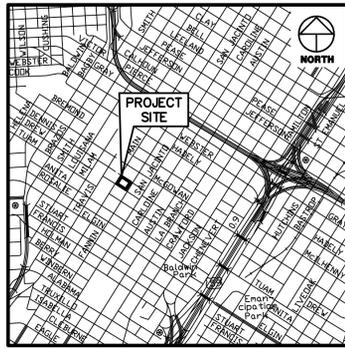
**WINDROSE**  
LAND SURVEYING | PLATTING

5353 W SAM HOUSTON PKWY N, STE 150 | HOUSTON, TX 77041 | 713.458.2281  
FIRM REGISTRATION NO. 101088000 | WINDROSESERVICES.COM

ALTA/NPS LAND TITLE SURVEY OF  
0.9410 AC. / 40,990 SQ. FT.  
BEING ALL OF UNRESTRICTED RESERVE "A", BLOCK 1,  
CAYDON 2627 MAIN STREET  
F.C. NO. 693664, H.C.M.R.  
SITUATED IN THE  
OBEDIANCE SMITH LEAGUE, A-696  
HARRIS COUNTY, TEXAS

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FILED BY: RP/JW CHECKED BY: CL JOB NO. 57647-UPDATE  
DRAWN BY: AT/RN/RV DATE: SEPTEMBER 2025 SHEET NO. 1 OF 1



CITY OF HOUSTON, HARRIS COUNTY, TEXAS  
**VICINITY MAP**  
SCALE: 1" = 2,000'



**NORTH**

GRAPHIC SCALE: 1" = 30'



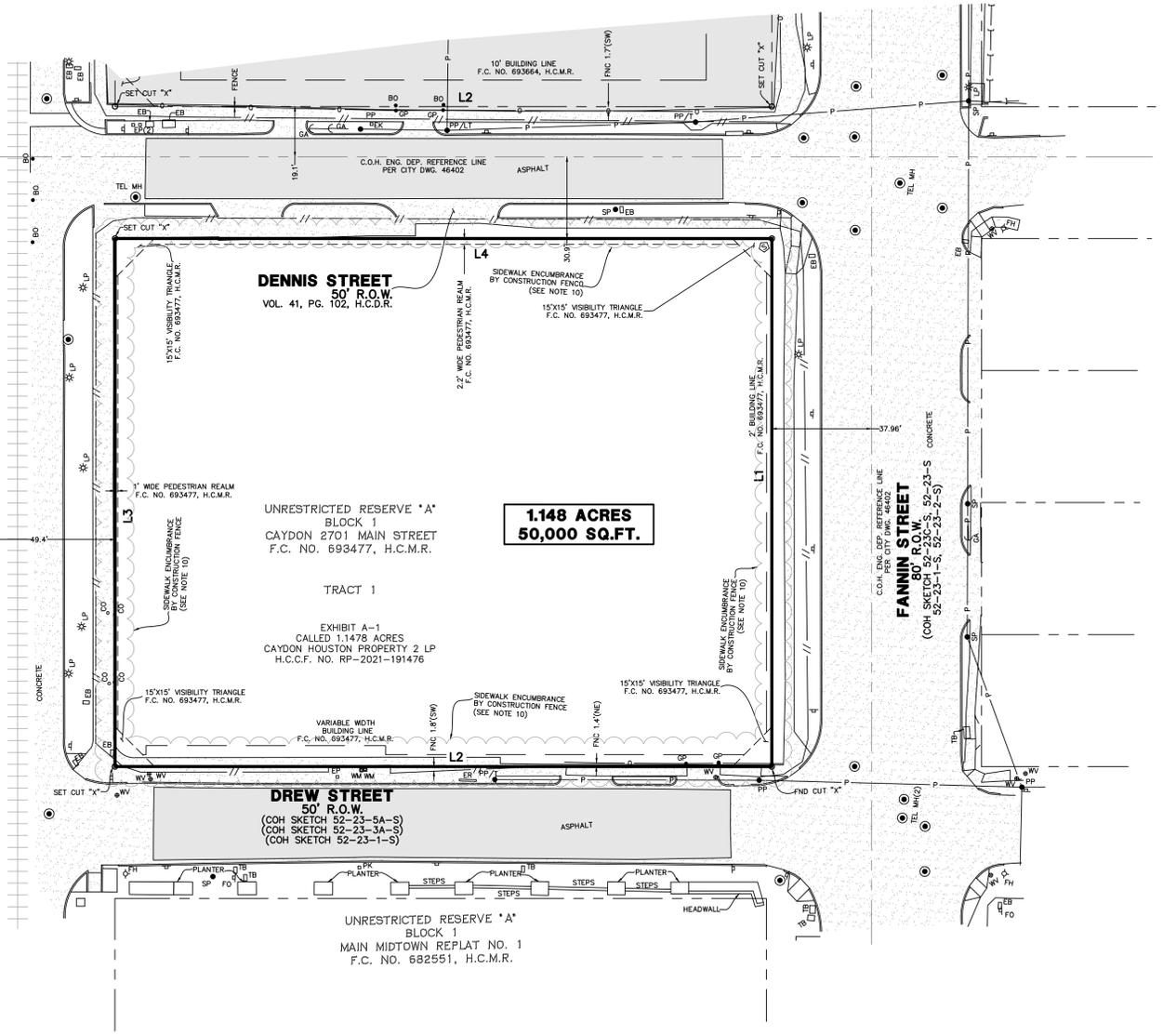
LINE	BEARING	DISTANCE
L1	S 32°52'00" W	200.00'
L2	N 57°08'00" W	250.00'
L3	N 32°52'00" E	200.00'
L4	S 57°08'00" E	250.00'

**LEGEND**

\* SOME OF THESE ELEMENTS MAY NOT BE USED ON THIS SURVEY

BO - BOLLARD	PP - POWER POLE	UCS - UNDERGROUND CABLE SIGN	FND - FOUND
CH - HANDICAP	PP/T - POWER POLE W/TRANSFORMER	CTL - CATHODIC TEST LEAD	H.C.C.F. - HARRIS COUNTY CLERK FILE
GM - GAS METER	PP/AL - POWER POLE W/LIGHT	H.C.D.R. - HARRIS COUNTY DEED RECORDS	H.C.M.R. - HARRIS COUNTY MAP RECORDS
GV - GAS VALVE	PP/CT - POWER POLE W/CONDUIT	P - PIN FLAG/PAINT MARK	IR - IRON PIPE
FH - FIRE HYDRANT	MP - METER POLE	IP - TOP OF CURB	IR - IRON ROD
WM - WATER METER	SP - SERVICE POLE	G - GUTTER	NO. - NUMBER
WV - WATER VALVE	GAC - GUY ANCHOR	TG - TOP OF GRATE	PG. - PAGE
ICV - IRRIGATION CONTROL VALVE	OL - OVERHEAD POWER LINE	FL - FLOW LINE	R.O.W. - RIGHT-OF-WAY
GI - GRATE INLET	HB - BARBED WIRE FENCE	SB - SANITARY SEWER	SQ. FT. - SQUARE FEET
GI - GRATE INLET	WIF - WROUGHT IRON FENCE	STM - STORM SEWER	VOL. - VOLUME
MH - MANHOLE	WF - WOOD FENCE	CMP - CORRUGATED METAL PIPE	F.C. - FILM CODE
CO - CLEANOUT	CF - CHAINLINK FENCE	CP - CORRUGATED PLASTIC PIPE	B.L. - BUILDING LINE
TP - TELEPHONE PEDESTAL	GP - GATE POST	ROP - REINFORCED CONCRETE PIPE	U.E. - UTILITY EASEMENT
EB - ELECTRIC BOX	(P) - PER PLANS	TEL - TELEPHONE	TR - TREE/SHRUB
TSB - TRAFFIC SIGNAL BOX	APPROX. - APPROXIMATE	SWBT - SOUTHWESTERN BELL TELEPHONE CO.	WTR - WATER
LP - LIGHT POLE	HIGHBANK - HIGHBANK	WTR - WATER	UG - UNDERGROUND
TLP - TRAFFIC LIGHT POLE	SI - SIGN	WTR - WATER	VLT - VAULT
GL - GROUND/SPOT LIGHT	FLM - PIPELINE MARKER	WTR - WATER	ER - ELECTRIC RACK
GM - GATE MOTOR	FO - FIBER OPTIC MARKER		
TB - TELEPHONE BOX			
PK - PARKING KIOSK			
EP - ELECTRICAL PEDESTAL			

MAIN STREET  
90' R.O.W.  
(COH SKETCH 52-23-1A-S)  
(COH SKETCH 52-23-1B-S)  
(COH SKETCH 52-23-1C-S)  
(COH SKETCH 52-23-1D-S)  
(COH SKETCH 52-23-1E-S)  
(COH SKETCH 52-23-1F-S)  
(COH SKETCH 52-23-1G-S)  
(COH SKETCH 52-23-1H-S)  
(COH SKETCH 52-23-1I-S)  
(COH SKETCH 52-23-1J-S)  
(COH SKETCH 52-23-1K-S)  
(COH SKETCH 52-23-1L-S)  
(COH SKETCH 52-23-1M-S)  
(COH SKETCH 52-23-1N-S)  
(COH SKETCH 52-23-1O-S)  
(COH SKETCH 52-23-1P-S)  
(COH SKETCH 52-23-1Q-S)  
(COH SKETCH 52-23-1R-S)  
(COH SKETCH 52-23-1S-S)  
(COH SKETCH 52-23-1T-S)  
(COH SKETCH 52-23-1U-S)  
(COH SKETCH 52-23-1V-S)  
(COH SKETCH 52-23-1W-S)  
(COH SKETCH 52-23-1X-S)  
(COH SKETCH 52-23-1Y-S)  
(COH SKETCH 52-23-1Z-S)  
PLATTED BY C.O.H. RECORDS DIVISION  
H.C.C.F. NO. G18866 AND G18867



**SCHEDULE 'B' NOTES**

- SUBJECT TO THE FOLLOWING RESTRICTIVE COVENANTS OF RECORD ITEMIZED BELOW (WE MUST EITHER INSERT SPECIFIC RECORDING DATA OR DELETE THIS EXCEPTION): AS SET FORTH IN INSTRUMENT FILED FOR RECORD UNDER FILM CODE NO(S), 693477, AND 693664, MAP RECORDS OF HARRIS COUNTY, TEXAS. (SHOWN HEREON)
- THE FOLLOWING MATTERS REFLECTED ON THE RECORDED PLAT FILED UNDER FILM CODE NO. 693477, OF THE MAP RECORDS OF HARRIS COUNTY, TEXAS: (SHOWN HEREON)
  - VARIABLE WIDTH BUILDING SETBACK ALONG THE SOUTHWEST PROPERTY LINE.
  - 2 FOOT BUILDING SETBACK ALONG THE SOUTHEAST PROPERTY LINE.
  - 1 FOOT PEDESTRIAN REALM ALONG THE NORTHWEST PROPERTY LINE.
  - 2.2 FOOT PEDESTRIAN REALM ALONG THE NORTHEAST PROPERTY LINE.
  - 15 FOOT X 15 FOOT VISIBILITY TRIANGLES OVER THE CORNERS OF THE PROPERTY.
- AN EASEMENT FOR DRAINAGE PURPOSES EXTENDING FIFTEEN (15) FEET ON EACH SIDE OF THE CENTERLINE OF ALL NATURAL DRAINAGE COURSES. (NONE OBSERVED AT TIME OF SURVEY)
- TERMS, CONDITIONS, STIPULATIONS, PROVISIONS, AND EASEMENTS CONTAINED IN ENCROACHMENT, MAINTENANCE AND ACCESS EASEMENT AGREEMENT AS SET OUT IN INSTRUMENT FILED FOR RECORD UNDER HARRIS COUNTY CLERK'S FILE NO. RP-2017-350471. (DOES NOT LIE WITHIN SUBJECT TRACT)
- SUBJECT TO TERMS, CONDITIONS, STIPULATIONS, AND PROVISIONS CONTAINED IN STORM WATER QUALITY MANAGEMENT PLAN AS EVIDENCED BY NOTICE OF STORM WATER QUALITY REQUIREMENTS FILED FOR RECORD UNDER HARRIS COUNTY CLERK'S FILE NO. RP-2020-442240. (BLANKET IN NATURE)

**TRACT 1 DESCRIPTION**

BEING ALL OF UNRESTRICTED RESERVE "A", IN BLOCK 1, OF CAYDON 2701 MAIN STREET, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED UNDER FILM CODE NO. 693477, MAP RECORDS OF HARRIS COUNTY, TEXAS.

**GENERAL NOTES**

- SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITH INFORMATION CONTAINED IN TITLE COMMITMENT OF NO. 231126-AW OF FIDELITY NATIONAL TITLE INSURANCE COMPANY, EFFECTIVE DATE OF JUNE 25, 2025, ISSUED DATE OF JULY 2, 2025, AND IS SUBJECT TO THE LIMITATIONS OF THAT COMMITMENT.
- BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE BROUGHT TO GRID BY APPLYING THE FOLLOWING SCALE FACTOR: 0.999891800.
- ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR HARRIS COUNTY, TEXAS, MAP NO. 48201C0860L REVISED/DATED JUNE 18, 2007, AND MAP NO. 48201C0860M REVISED/DATED JANUARY 06, 2017, THE SUBJECT TRACT APPEARS TO LIE WITHIN UNSHADED ZONE "X". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY OR STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE LAND SERVICES.
- DEVELOPMENT OF THIS TRACT IS SUBJECT TO REQUIREMENTS PER CITY OF HOUSTON ORDINANCE NO. 2013-343 WHICH STIPULATES PLATTING AND SETBACK CONSTRAINTS. PROPOSED USAGE OF THIS TRACT WILL DETERMINE ACTUAL BUILDING SETBACK LINE(S) ALONG ANY ADJOINING STREETS. REFER TO CITY OF HOUSTON BUILDING CODES TO ESTABLISH MINIMUM PUBLISHED SETBACK REQUIREMENTS. ULTIMATELY THE CITY OF HOUSTON PLANNING COMMISSION WILL DETERMINE REQUIRED SETBACKS UPON REVIEW OF PLANS OR PLATS SUBMITTED TO SAID COMMISSION. THIS TRACT MAY REQUIRE PLATTING AS A CONDITION FOR RECEIVING BUILDING PERMITS.
- READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY, NO SUBSURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE LAND SERVICES.
- ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
- THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CLOSURE OF THE COURSES AND DISTANCES REFLECTED ON THE SURVEY, IT DOES NOT INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
- FENCES SHOWN HEREON WITH DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDER BETWEEN MEASURED LOCATIONS.
- THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE EXPRESSED OR IMPLIED.
- SIDEWALK AROUND SUBJECT PROPERTY IS OBSTRUCTED BY A CONSTRUCTION FENCE. IMPROVEMENTS SHOWN WITHIN CLOUDED AREA MAY DIFFER FROM SHOWN.
- WITH REGARD TO ITEM 2 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ACCORDING TO THE HARRIS COUNTY APPRAISAL DISTRICT, THE ADDRESS OF THE SUBJECT TRACT (TAX ID NO. 14535600100001) IS 2606 FANNIN STREET, HOUSTON, TX 77002.
- WITH REGARD TO ITEM 6 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
- WITH REGARD TO ITEM 9 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, ACCORDING TO THE HARRIS COUNTY APPRAISAL DISTRICT, 1 HANDICAPPED STRIPED PARKING SPACES (PARKING PAINT STRIPES WERE FADED AT TIME OF SURVEY) ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
- WITH REGARD TO ITEM 16 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.
- WITH REGARD TO ITEM 17 OF THE ALTA TABLE "A" OPTIONAL SURVEY RESPONSIBILITIES AND SPECIFICATIONS, THERE WAS NO OBSERVED EVIDENCE OF RECENT STREET SIDEWALK CONSTRUCTION OR REPAIRS ON THE SUBJECT TRACT AT THE TIME OF SURVEY.

**SURVEYOR'S CERTIFICATION**

TO: BRACKMAN LLC, a Texas limited liability company and/or permitted KH- REIT XII, LLC, a Delaware limited liability company  
CAYDON HOUSTON PROPERTY, LP  
MIDTOWN OPPORTUNITY INVESTMENTS LLC  
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6A, 8, 9, 13, 14, 16, 17, & 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 29, 2025.



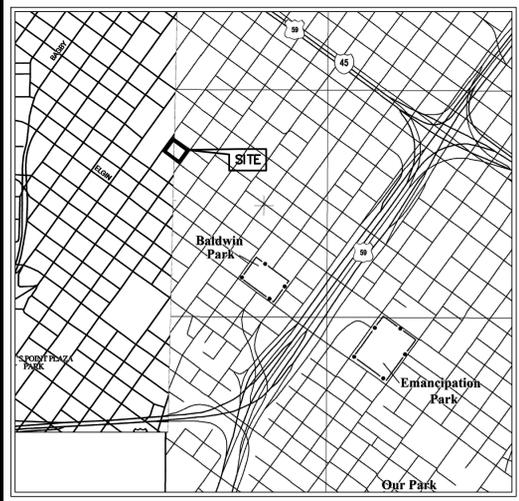
MATTHEW CARPENTER  
Registered Professional Land Surveyor  
Texas Registration No. 6942  
DATE: 09/08/2025

**WINDROSE**  
LAND SURVEYING & PLATTING  
5353 W SAM HOUSTON PKWY N, STE 150 | HOUSTON, TX 77041 | 713.458.2281  
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM

ALTA/NSPS LAND TITLE SURVEY OF  
1.148 AC. / 50,000 SQ. FT.  
BEING ALL OF UNRESTRICTED RESERVE "A", BLOCK 1,  
CAYDON 2701 MAIN STREET  
F.C. NO. 693477, H.C.M.R.  
SITUATED IN THE  
OBEDIANCE SMITH LEAGUE, A-696  
HARRI COUNTY, TEXAS

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REVISIONS		
DATE	REASON	BY



**FIRM**  
FLOOD INSURANCE RATE MAP  
HARRIS COUNTY, TEXAS  
AND INCORPORATED AREAS  
PANEL 880 OF 1150  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)  
COMMUNITY: HOUSTON, CITY OF  
REVISION: 0802 0803 11  
MAP NUMBER: 48201C0860M  
MAP REVISED: JANUARY 6, 2017  
Federal Emergency Management Agency

**FIRM**  
FLOOD INSURANCE RATE MAP  
HARRIS COUNTY, TEXAS  
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PANEL 880 OF 1150  
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)  
COMMUNITY: HOUSTON, CITY OF  
REVISION: 0802 0803 11  
MAP NUMBER: 48201C0860L  
MAP REVISED: JUNE 18, 2007  
Federal Emergency Management Agency

This is an official copy of a portion of the above referenced flood map. It was extracted using FIRM On-Line. This map does not reflect changes to the flood map which may have been made subsequent to the date on the flood map. For the latest product information visit the National Flood Insurance Program Flood Map Store at www.mms.fema.gov